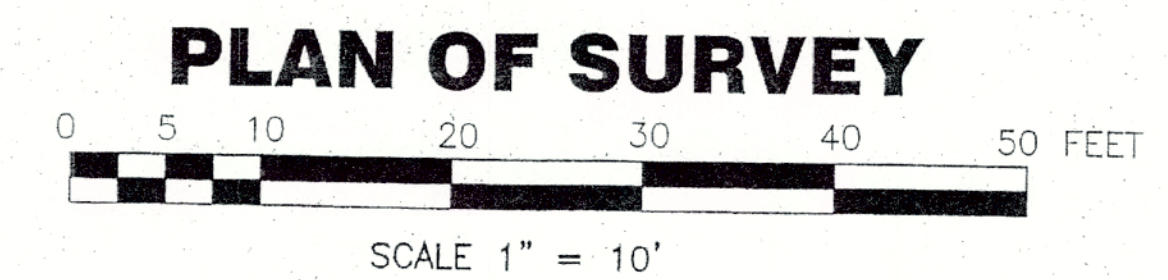


- LEGEND:**
- WOOD POST & RAIL FENCE
 - VINYL FENCE
 - WOOD FENCE OR RAILING
 - CHAIN LINK FENCE
 - PROPERTY LINE
 - CONCRETE
 - X-CUT SET
 - X-CUT FOUND
 - X-CUT TO BE SET
 - CM FOUND
 - CM TO BE SET
 - I.P. FOUND
 - I.P. SET
 - I.P. TO BE SET
 - P.K. NAIL FOUND
 - P.K. NAIL SET
 - P.K. NAIL TO BE SET
 - WOODS LINE
 - TREE
 - INLET
 - CONC. CURB
 - DEPRESSED CONC. CURB
 - EDGE OF PAVEMENT
 - EDGE OF STONE
 - UTILITY POLE
 - ROAD/TRAFFIC SIGN
 - ROAD/TRAFFIC SIGN (2 POSTS)
 - OVERHEAD WIRE
 - UTILITY MARKOUTS:
 - TELEPHONE
 - ELECTRIC
 - SANITARY SEWER
 - WATER
 - GAS
 - P.O.B.
 - B.M.
 - T.C.
 - B.C.
 - P.C.
 - P.T.
 - (Lot X)
 - Clr.
 - PAVERS
 - 15' EASEMENT PER D.B. 1208, PG. 448
 - 5' WIDE PERMANENT ACCESS EASEMENT PER D.B. 2355, PG. 303

- GENERAL NOTES:**
- BEING TAX LOTS 1.01 AND 2.01 IN TAX BLOCK 46.02 AS SHOWN ON THE CITY OF SEA ISLE CITY TAX MAP SHEET No. 8, DATED FEBRUARY 22, 1973, REVISED THROUGH OCTOBER 10, 2014, CAPE MAY COUNTY, NEW JERSEY, AND AS FURTHER DESCRIBED IN DEED DATED APRIL 16, 2009 AND RECORDED IN THE CAPE MAY COUNTY CLERK'S OFFICE ON MAY 20, 2009 IN DEED BOOK 3379, PAGE 322. TOGETHER WITH AN EASEMENT OVER THE SOUTHEASTERLY 15 FEET OF LOT 2.01 PER DEED BOOK 1208, PAGE 449. ALSO TOGETHER WITH A PERMANENT ACCESS EASEMENT OVER THE NORTHEASTERLY 5 FEET OF LOT 1.01 AND LOT 2.01 IN BLOCK 46.02 PER DEED BOOK 2355, PAGE 303. BOTH EASEMENTS AS SHOWN HEREON.
 - THIS SURVEY IS MADE SUBJECT TO ANY RIGHTS, RESTRICTIONS, EASEMENTS, RIGHT OF WAY, EXCEPTIONS, OR COVENANTS THAT AN ACCURATE AND CURRENT TITLE REPORT MAY DISCLOSE.
 - THIS SURVEY DOES NOT NECESSARILY LOCATE AND/OR DELINEATE ALL MAPPED OR UNMAPPED REGULATED ENVIRONMENTAL CONSTRAINTS THAT MAY BE WITHIN THE JURISDICTIONAL LIMITS OF FEDERAL, STATE, AND/OR LOCAL REGULATORY AGENCIES.
 - VERTICAL CONTROL BASED ON N.A.V.D. 1988.
 - THIS SURVEY IS BASED ON FIELD CONDITIONS AS OF JANUARY 31, 2024.
 - REFERENCE MERIDIAN BASED ON MATCHING THE BEARING SYSTEM FROM THE 1933 SEA ISLE CITY TAX MAP.
 - THIS SURVEY IS NOT INTENDED TO BE USED FOR MORTGAGE AND/OR CONVEYANCE PURPOSES UNLESS APPROPRIATE METES AND BOUNDS DESCRIPTION RELATING TO THE BOUNDARIES SHOWN HEREON IS COMPLETED.
 - THERE ARE NO MAPPED "TIDELANDS CLAIMS" LOCATED ON LOTS 1.01 AND 2.01 IN BLOCK 46.02 AS PER THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION MAP Nos. 112-1992 AND 112-1986.
 - THE INFORMATION SHOWN HEREON REPRESENTS CONDITIONS FOUND AT THE SITE ON THE DATE OF THE FIELD SURVEY. ANY UNDERGROUND UTILITIES ILLUSTRATED ARE BASED ON PAINT MARKS (DETERMINED BY OTHERS) AND/OR ABOVE GROUND EVIDENCE FOUND AT THE SITE AND IS SCHEMATIC IN NATURE. IT SHALL BE THE RESPONSIBILITY OF ANY CONTRACTOR AND/OR INDIVIDUAL TO DETERMINE THE EXACT LOCATION OF ANY AND ALL SUBSURFACE UTILITIES PRIOR TO ANY EXCAVATION.
 - ANY DISCREPANCIES IN ELEVATIONS SHOWN HEREON SHALL BE BROUGHT TO THE ATTENTION OF THIS SURVEYOR PRIOR TO PROCEEDING WITH CONSTRUCTION.



DETAIL A
SCALE: N.T.S.

TO: MICHAEL J. AND MARIA I. TRAMUTOLO, h/w AND DOCS, LLC; DATE: _____ REVISIONS: _____

THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH N.J.A.C. 13-40-5.1 AND THE CERTIFICATION IS LIMITED TO THE SPECIFIC PARTIES LISTED ABOVE.

MARK J. GIBSON
LICENSED PROFESSIONAL LAND SURVEYOR
N.J.P.L.S. LICENSE NO. 32115

GIBSON ASSOCIATES, P.A.
CONSULTING ENGINEERS AND SURVEYORS
522 SEA ISLE BOULEVARD
OCEAN VIEW, NEW JERSEY 08230
(609) 624-1944

PLAN OF SURVEY
LOTS 1.01 AND 2.01, BLOCK 46.02
SEA ISLE CITY
CAPE MAY COUNTY, NEW JERSEY

DRAWN: JJS CHECKED: MJG DATE: 02-07-24 SCALE: 1" = 10' BOOK 58 PAGE 42 DWG. No. 3384-C
P3481-3384-002-07-24(16).DWG File No. 3481

26-42 ARCHITECTURAL DESIGN STANDARDS

ZONING DISTRICT: C-1
BLOCK: 46.02 LOTS: 1.01 & 2.01

26-42.3 DESIGN STANDARDS	REQUIRED	COMPLIANCE
A. MASSING		
1.	Building wall offsets, projections & recesses, to provide visual interest and relieve the effects of a long wall.	Yes
2.	Maximum spacing between such offsets shall be 33', minimum shall be 2'.	Yes
3.	Vertical offsets can be pilasters, projecting bays, changes in facade materials, balconies, etc.	Facade contains elements of all YES
B. ARTICULATION		
1.	All street-facing building walls shall have a clearly defined base, body and cap.	Yes
2.	The base of the building shall align with either the kickplate or sill level of the first story.	Yes Aligns with First Story
3.	The body section of a building may be horizontally divided at floor, lintel or sills with belt courses.	Yes
4.	The architectural treatment of a facade shall be completely continued around all street-facing facades.	Yes
C. ROOF		
1.	The shape, pitch and color of a roof shall be architecturally compatible with style, materials and colors of such building.	Yes
2.	If the building has a flat roof, a parapet shall project vertically to hide roof-mounted mechanical eqpt.	Yes- located in center of bldg- not visible from street
3.	Pitched roofs are encouraged to have dormers, chimneys, cupolas and other similar elements, for architectural interest.	Yes- provided shed roofs, dormers
4.	Roofline offsets shall be provided along any roof measuring more than 40' in length, to provide interest.	Yes
5.	When viewed in elevation, no more than 50% of the roofline shall be flat.	Yes-
6.	Roof top heating, HVAC systems, exhaust pipes & stacks, telecom equipment, etc. to be screened from street view.	Yes- located in center of bldg- not visible from street
D. TRANSPARENCY		
1.	Ground floor uses in the commercial districts shall have large pane display windows street-side, with min. 33% glass.	46% / 27%
2.	Transoms above display windows are encouraged.	N/A
3.	Windowsills shall not be more than 3' above the sidewalk. Base panels or bulkheads are encouraged.	N/A
4.	Windows shall be vertically proportioned (taller than wider) where possible.	Yes
5.	Buildings of architectural styles that normally have windows with muntins or divided lights shall utilize those types of windows.	N/A
6.	Glass blocks are not permitted on facades that abut a public street in commercial districts.	Yes- none provided
7.	Exterior security gates are not permitted.	Yes- none provided
E. ENTRANCES		
1.	The primary entrance to any building shall front on a public street	Yes-
2.	All entrances to a building shall be defined by utilizing such elements as lintels, pediments, pilasters, columns, etc.	Yes-
3.	Any such element utilized shall be architecturally compatible with the style, materials, colors and details of such building.	Yes
F. MATERIALS		
1.	Building facades visible from a public street shall consist of durable long-lasting materials, including brick, stone, etc.	Yes
G. LIGHTING		
1.	Light fixtures attached to the exterior of a building shall be designed to be compatible with the style & details of such bldg.	Yes
2.	The type of light source used on buildings, signs, parking areas and other areas of a site shall be the same or compatible.	Yes
3.	The use of low-pressure sodium or mercury vapor lighting, attached to the building or to light the exterior is prohibited.	Yes- none to be provided
H. AWNINGS AND CANOPIES		
1.	Awnings and canopies are encouraged in C1 & C2 Districts to add visual interest to the streetscape and shelter for pedestrians.	YES
2.	Awnings and canopies that extend over the right-of-way of a street is not less than 9' to lowest portion or more 15' in height.	YES
3.	Access awnings and canopies in C1 & C2 Districts that extend over the right-of-way for egress/ingress, can extend to curbline.	YES
4.	Awnings and canopies shall be designed proportionate to building height, massing, materials & color.	YES

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	GEN	8/7/24	DC
2	ADDED HARYSLAK, RA	9/26/24	WH

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DONALD C. ZACKER
ARCHITECT

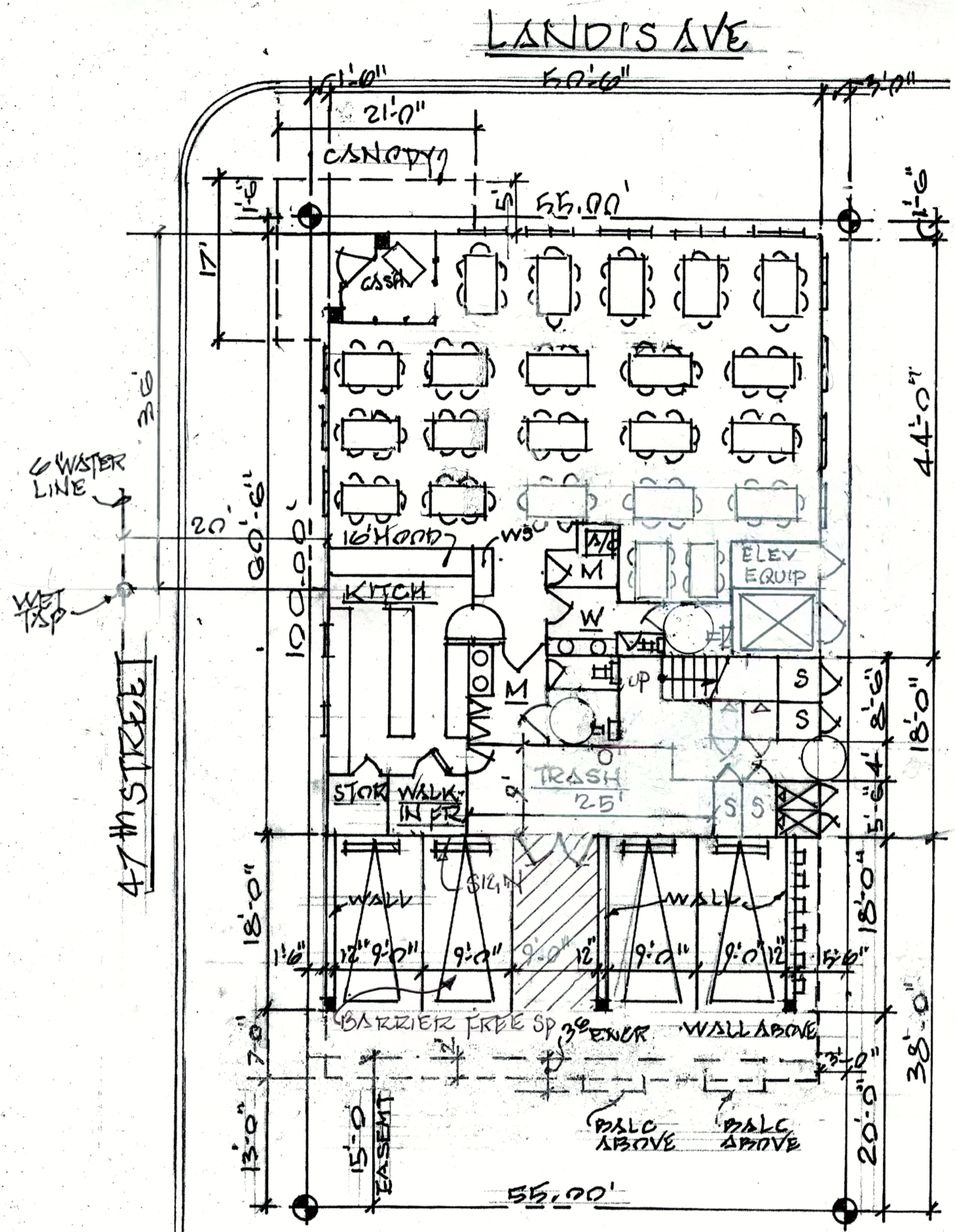
NJ CERT. NO. AI 05804

DRAWN BY: 2
CHECKED BY: DZ

P-1
7/12/24

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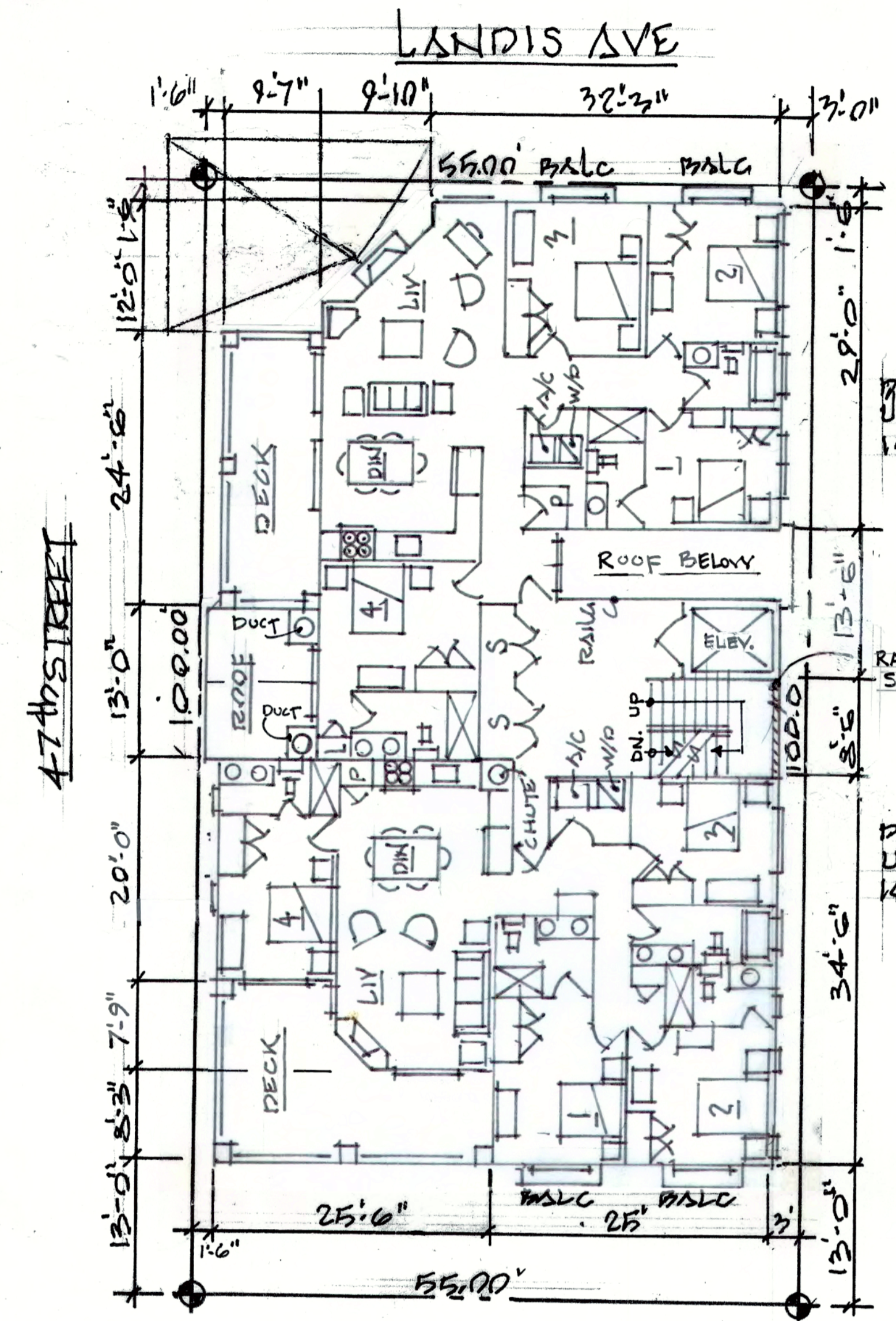
William A. Haryslak
William A. Haryslak, R.A.
New Jersey License No. 12373
Pennsylvania License No. RA-014785-B
NCARB Certification No. 46986



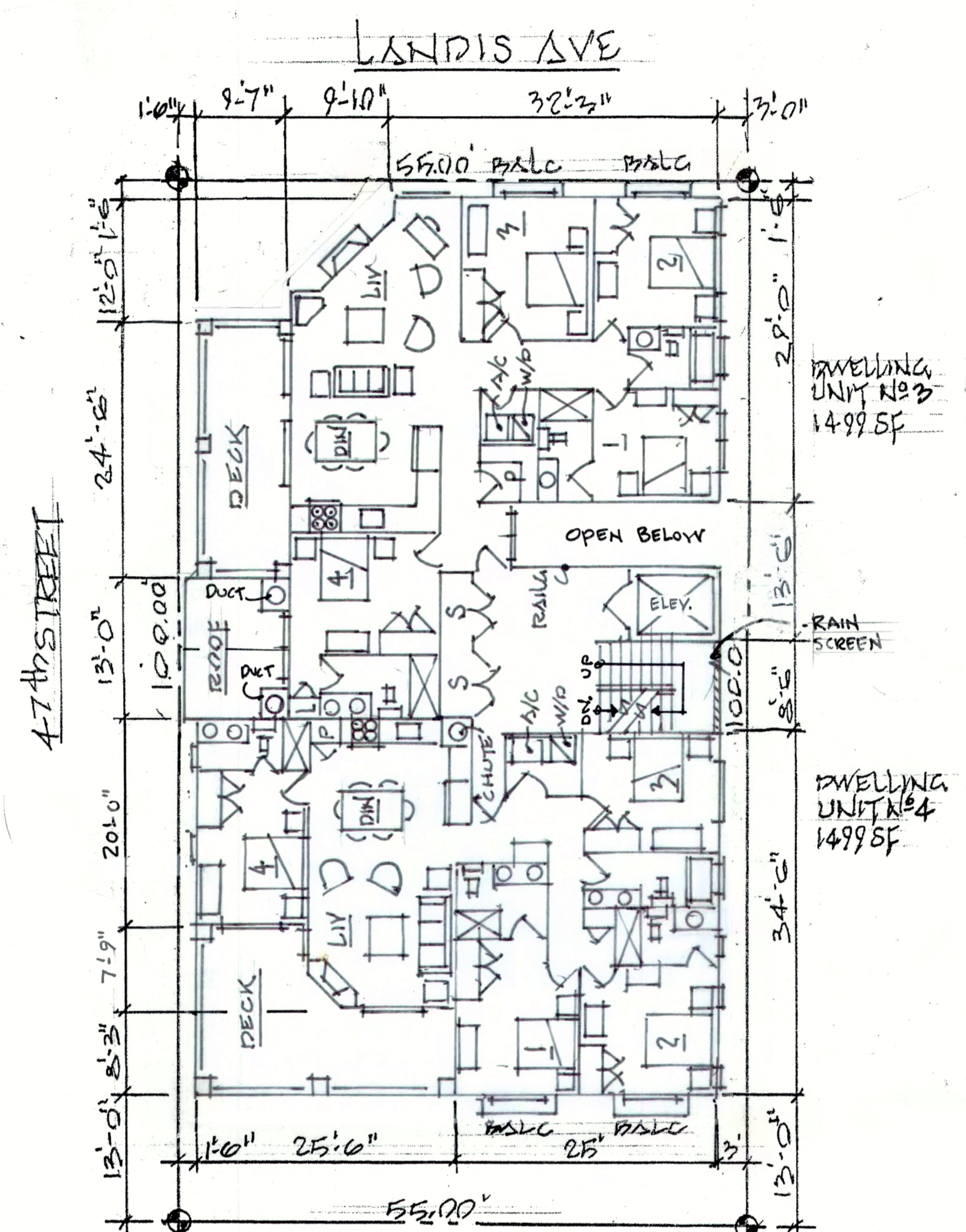
FIRST FLOOR PLAN
1"=10'-0"

- ALL OPENINGS AT EXTERIOR WALLS SHALL BE PROTECTED BY FLOOD PANELS/GATES
- ENTIRE BUILDING SHALL RECEIVE A FIRE SUPPRESSION SYSTEM IN ACCORDANCE W/ NFPA 13 & NFPA 13R CODE

SEATING 128
BLDG COV 79%
ZONE C-1



SECOND FLOOR PLAN
1"=10'



THIRD FLOOR PLAN
1"=10'-0"

NO.	REVISIONS DESCRIPTION	DATE	BY
1	GENERAL	8/1/24	DZ
2	APARTMENT LAYOUTS	9/10/24	DZ
3	ADDED HARYSLAK, R.A.	9/27/24	WH

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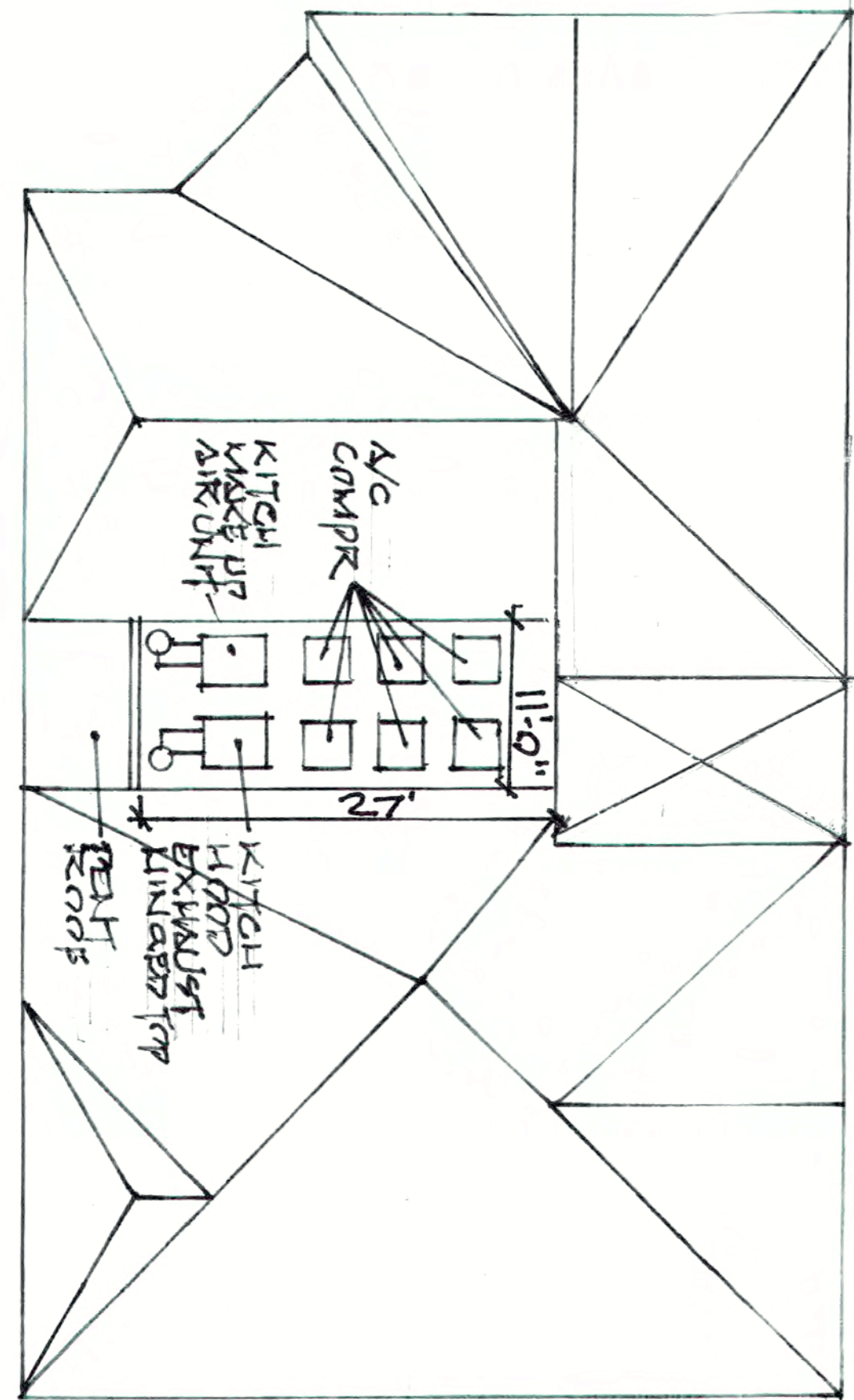
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DONALD C. ZACKER
ARCHITECT

NJ CERT. NO. AI 05804

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P-2
7/10/24

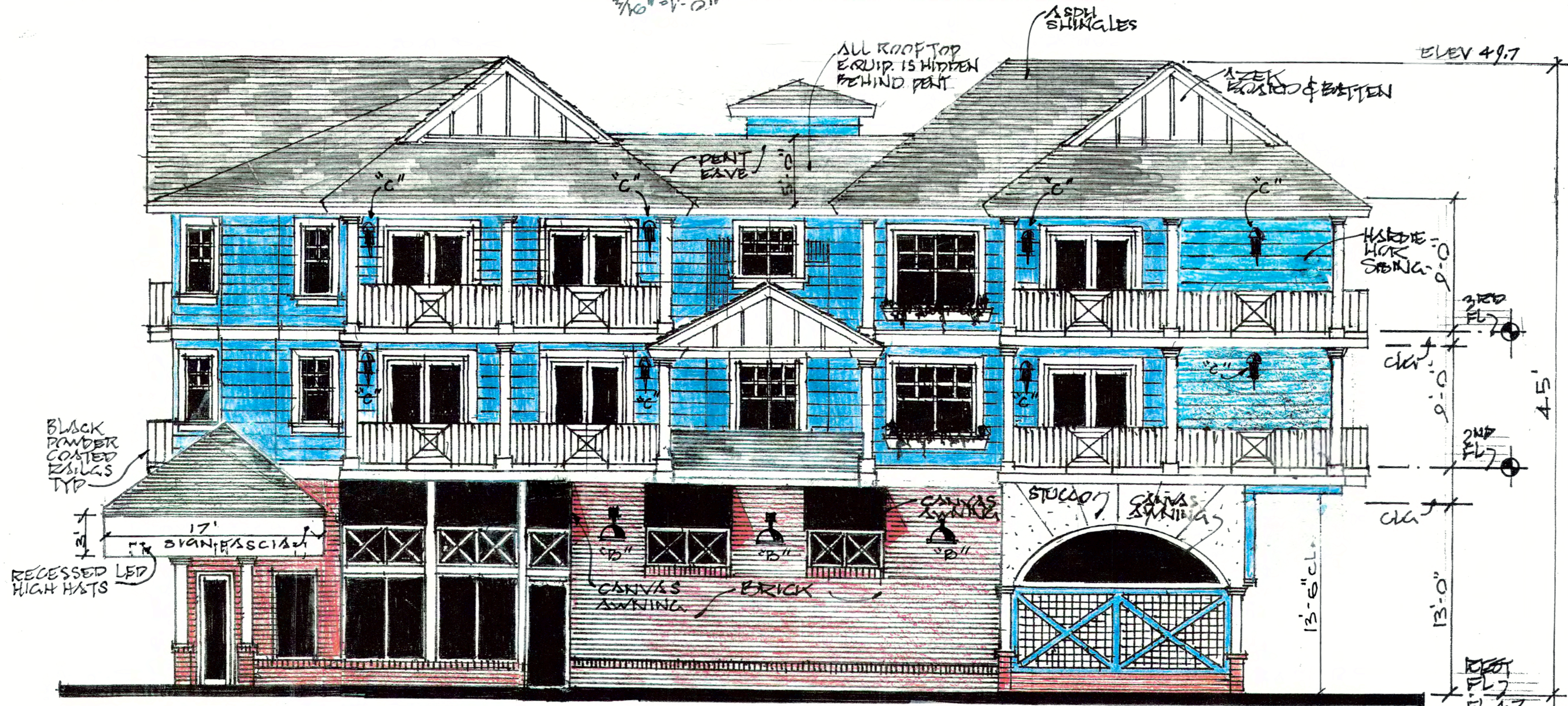


ROOF PLAN
1/16" = 1'-0"

CONTRACTOR SHALL PROVIDE COMPLETE GUTTER & DOWNSPOUT SYSTEM



ELEVATION FROM LANDIS AVE
3/16" = 1'-0"



ELEVATION FROM 47th STREET
3/16" = 1'-0"

ELECTRIC FIXTURE SCHEDULE

FIXTURE DESIGNATION	DESCRIPTION
"A"	LED WALL PACK LLS-AL-WPFL-60W WITHBUILT IN PHOTOCELL LED LIGHTING SUPPLY CO.
"B"	120 VOLTS 39 W CANARM CO BLACK LED LIGHT LBL 167 A14 WACBK
"C"	KICHLER COURTYARD BLACK LED TORPEDO WALL MOUNTED
"D"	LED CANOPY LIGHT 60 W 120V BLACK SUPERIOR LIGHTING CO 7802 CLBLO60-MCT PHOTOCELL CONTROL

MATERIALS

- SIDING..HARDIE HORIZONTAL SIDING BOOTHBAY BLUE
- WINDOWS..ANDERSON 400 SERIES DOUBLE HUNG WHITE
- SLIDING DOORS..(RESIDENTIAL DWELLING UNITS) ANDERSON FRENCH WOOD WHITE
- ROOFING..JOHN MANSVILLE 390 LB. SLATESTONE GREY
- BRICK..SYNTHETIC 2 INCH BURNISHED RED

NO.	DESCRIPTION	DATE	BY
1	GEN	8/7/24	PZ
2	GEN	9/10/24	PZ
3	ADDED HARYSLAK, RA	9/29/24	WH

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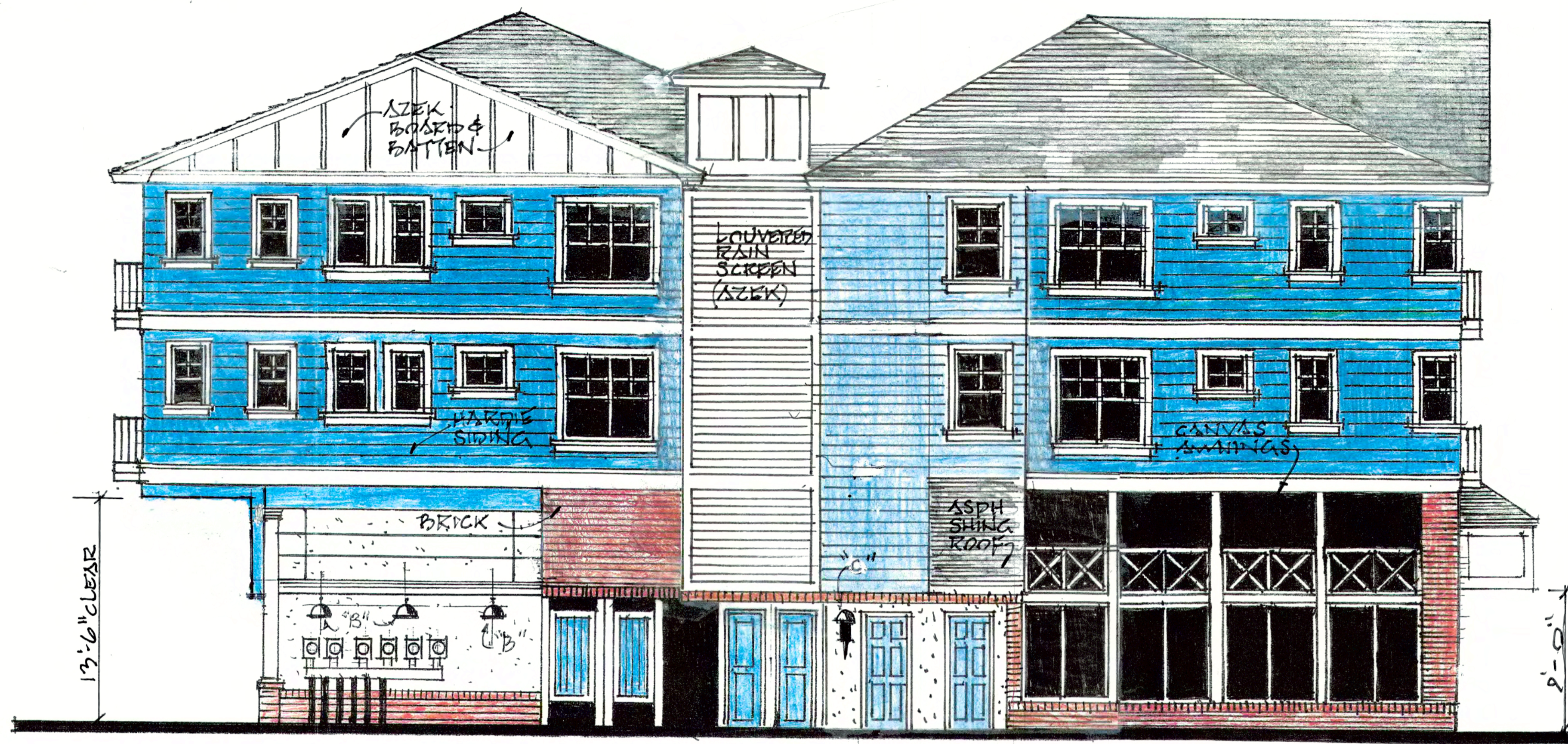
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P-3



REAR ELEVATION
3/16" = 1'-0"



SIDE ELEVATION
3/16" = 1'-0"

NO.	REVISIONS	DESCRIPTION	DATE	BY
1	GEN		8/17/24	DZ
2	GEN		8/19/24	DZ
3	ADDED	HARYSLAK, RA	9/12/24	WH

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P-4
7/18/24